

PROJECT INFORMATION

1ST (GROUND) FLOOR = 13,288 S.F. (COVERED) 2,136 S.F. HEATED
 2ND FLOOR = 13,288 S.F.
 3RD FLOOR = 24 ROOMS 12,114 S.F.
 4TH FLOOR = 24 ROOMS 12,114 S.F.
 5TH FLOOR = 24 ROOMS 12,114 S.F.
 6TH FLOOR = 24 ROOMS 12,114 S.F.
 7TH FLOOR = 24 ROOMS 12,114 S.F.
 TOTAL ROOMS = 120 ROOMS 87,146 S.F.

MAXIMUM HEIGHT = 160' AND 11 STORIES PER THE 2009 IBC (TYPE 1-B CONSTRUCTION). SOUTH WALL SHALL BE 1-HOUR RATED PER IBC TABLE 602 (FIRE SEPARATION DISTANCE)

PARKING REQUIRED = NO REQUIREMENT IN DOWNTOWN ZONE
 PARKING PROVIDED = 24 SPACES AND 18 LIFTS (ON-SITE)

SITE AREA = 14,273.7 S.F. (0.327 ACRES)

RADIUS LEGEND

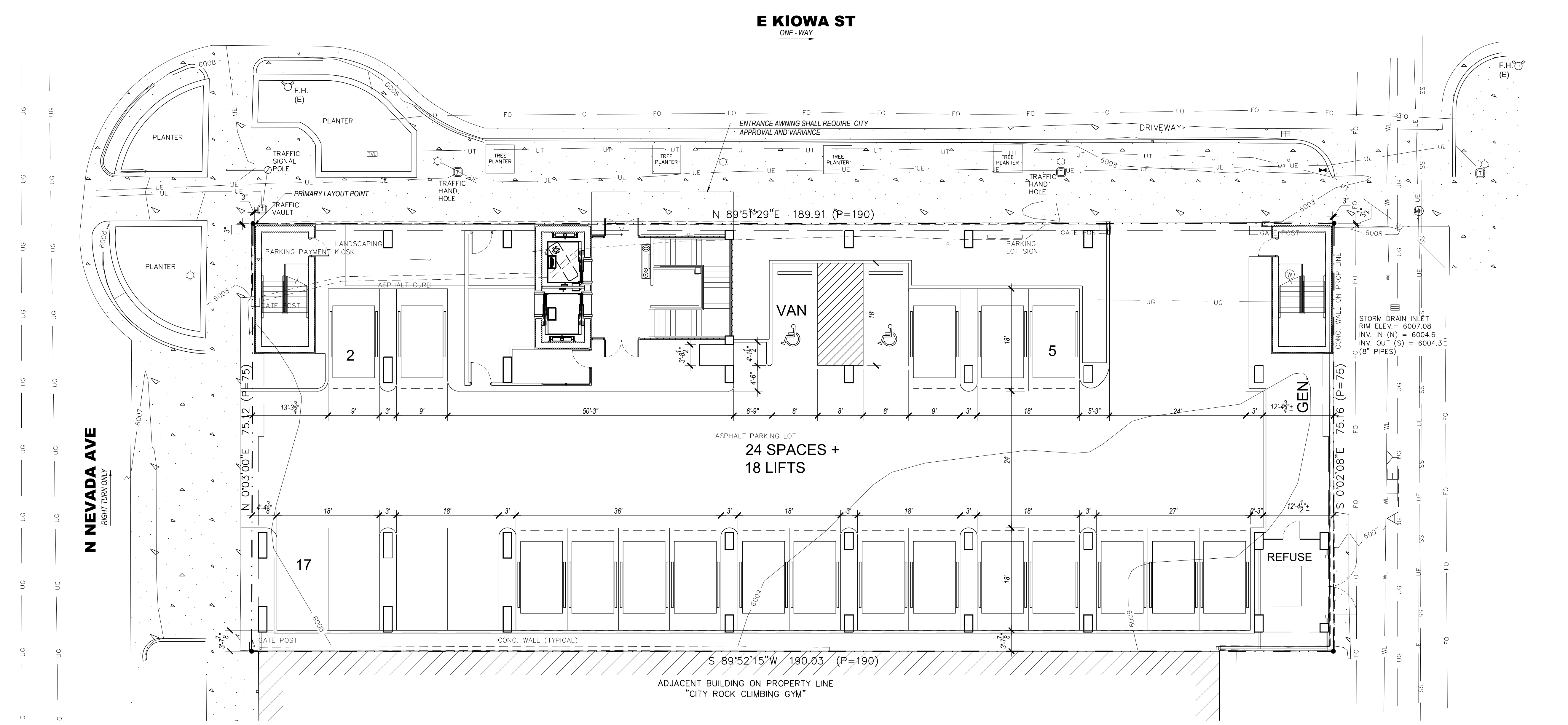
- RADI ARE MEASURED TO THE BACK OF CURB UNLESS NOTED OTHERWISE. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
- ① = 1'-6" RADIUS
 - ② = 2'-0" RADIUS
 - ③ = 3'-0" RADIUS
 - ④ = 5'-0" RADIUS
 - ⑤ = 10'-0" RADIUS
 - ⑥ = 14'-0" RADIUS
 - ⑦ = 20'-0" RADIUS
 - ⑧ = 25'-0" RADIUS
 - ⑨ = 28'-0" RADIUS
 - ⑩ = 30'-0" RADIUS
 - ⑪ = 35'-6" RADIUS
 - ⑫ = 40'-0" RADIUS
 - ⑬ = 51'-0" RADIUS
 - ⑭ = 60'-6" RADIUS

GENERAL SITE NOTES

1. ALL NEW SIDEWALKS TO BE 5'-0" IN WIDTH (UNLESS NOTED OTHERWISE) WITH BROOM FINISH. RUNNING SLOPE SHALL NOT EXCEED 1:20. CROSS SLOPE SHALL NOT EXCEED 1:50.
2. AN ACCESSIBLE ROUTE FROM PUBLIC TRANSPORTATION STOPS, PUBLIC STREETS AND SIDEWALKS, ACCESSIBLE PARKING SPACES AND PASSENGER LOADING ZONES TO AN ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED WHERE FEASIBLE.
3. DETECTABLE WARNINGS ARE REQUIRED WHERE WALKS CROSS OR ADJOIN A VEHICULAR WAY AND ARE NOT SEPARATED BY A CURB OR OTHER ELEMENT.
4. ACCESSIBLE ENTRANCES AND PARKING SPACES SHALL BE IDENTIFIED WITH A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
5. INACCESSIBLE ENTRANCES SHALL BE PROVIDED WITH SIGNAGE DIRECTING PATRONS TO ACCESSIBLE ENTRANCES.
6. PARKING SHALL BE SLOPED AS PER THE GRADING PLAN. THE MAXIMUM SLOPE PERMITTED AT ACCESSIBLE PARKING SPACES AND ISLES AND ACCESSIBLE PATHS IS 2% IN ALL DIRECTIONS.
7. CURB RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:15 AND SHALL BE A MINIMUM OF 3'-0" WIDE. THE MAXIMUM CROSS SLOPES PERMITTED ON CURB RAMPS IS 2% (1:50). SIDE FLARES ARE REQUIRED TO BE SLOPED 1:12 MAXIMUM (1:15 MAXIMUM WHERE TOP LANDINGS ARE LESS THAN 48"W). SURFACES OF CURB RAMPS SHALL BE DETECTABLE WARNING SURFACES FOR THE FULL WIDTH AND DEPTH OF RAMP. RAMPS WITH RETURNED CURBS MAY BE USED WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP.
8. LOCATE ALL METERS OUT OF DIRECT VIEW OF GUESTS WHERE POSSIBLE.
9. GENERAL PARKING AND PEDESTRIAN AREAS SHALL HAVE MINIMUM LIGHTING OF 0.5 FC (CITY REQUIREMENT). FIXTURE SUPPLIER SHALL PERFORM A PHOTOMETRIC CALCULATION ON THE ENTIRE SITE BASED ON THE PARTICULAR FIXTURE AND PROVIDE THE RESULTS TO THE ARCHITECT AND ELECTRICAL ENGINEER FOR APPROVAL. CONTRACTOR TO ADJUST THE FINAL LAYOUT UPON APPROVAL.
10. ALL EXTERIOR SIGNAGE SHALL COMPLY WITH ALL CURRENT LOCAL AND STATE REQUIREMENTS, ORDINANCES AND FRANCHISE STANDARDS AND SHALL BE SUBMITTED VIA A SEPARATE PERMIT.
11. ALL SITE DEMOLITION, REMOVALS AND BACKFILLING SHALL BE PERFORMED AS RECOMMENDED IN THE GEOTECHNICAL REPORT.
12. SEE CIVIL DRAWINGS FOR PAVING REQUIREMENTS.
13. PROVIDE FIRE HYDRANTS AND SPRINKLER SYSTEM CONNECTIONS AS REQUIRED BY THE FIRE DEPARTMENT FOR 1 STORY. 87,146 S.F. TYPE 1-B CONSTRUCTION (3,250 GPM @ 3 HOUR DURATION). FIRE MARSHALL CAN APPROVE UP TO 75% REDUCTION IN FIRE FLOW PER IFC B105.2. 50% REDUCTION WOULD EQUATE TO 1,625 GPM @ 2 HOUR DURATION. 1 HYDRANT REQUIRED PER 2009 IFC TABLE C105.1 AROUND THE BUILDING. BASED ON THIS REDUCED FLOW OF 1,625 GPM PER 2009 IFC TABLE B105.1. 2 EXISTING HYDRANTS ARE PROVIDED.
14. PROVIDE SIGNAGE FOR FIRE DEPARTMENT CONNECTION AND SPRINKLER STANDPIPE CONNECTION. VERIFY REQUIREMENTS WITH THE FIRE MARSHALL.
15. ALL WORK IN THE PUBLIC R.O.W. SHALL BE AS PER THE CITY, INCLUDING, BUT NOT LIMITED TO DRIVE PADS, UTILITY EXTENSIONS, CONCRETE CURBS, SIDEWALKS, ETC. SEE GRADING PLAN AND UTILITY PLAN FOR MORE INFORMATION.
16. PROVIDE FIRE DEPARTMENT KNOX BOX NEAR ENTRANCE TO BUILDING. FINAL LOCATION SHALL BE APPROVED BY THE FIRE MARSHALL.
17. CONTRACTOR TO MAINTAIN A 3'-0" CLEARANCE AROUND ALL FIRE HYDRANTS.
18. ALL PAVEMENT STRIPING SHALL BE WHITE TYPICAL (WHITE WITH BLUE ACCESSIBLE STALLS).

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HYATT PLACE
 (PRELIMINARY DRAWINGS)
 225 E. KIOWA ST.
 COLORADO SPRINGS, CO 80903



SITE PLAN
 SCALE: 1"=10'-0"

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DRAWING ISSUE DATES:
 8/7/17 - Preliminary Drawings

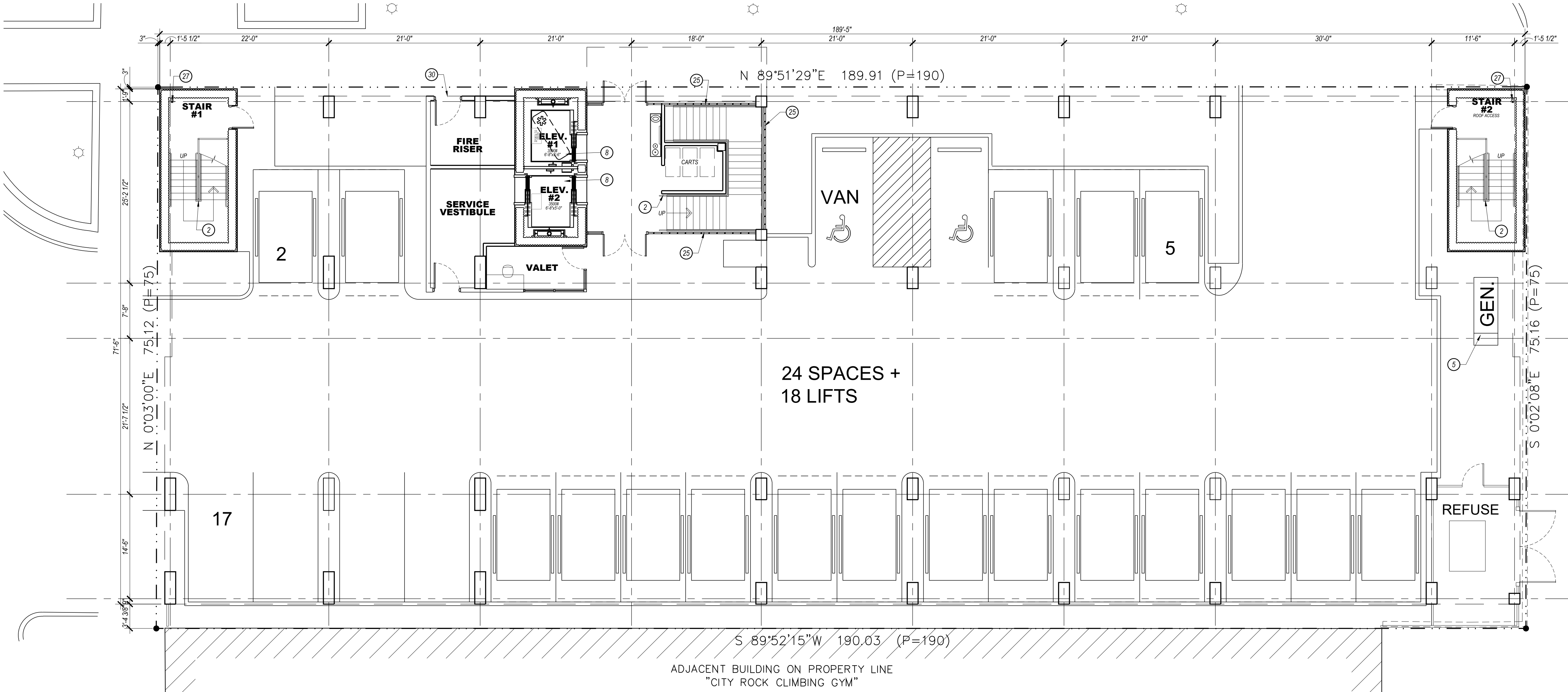
PROJECT MANAGER:
 NICK PIRKL

DRAWN BY:
 NAP

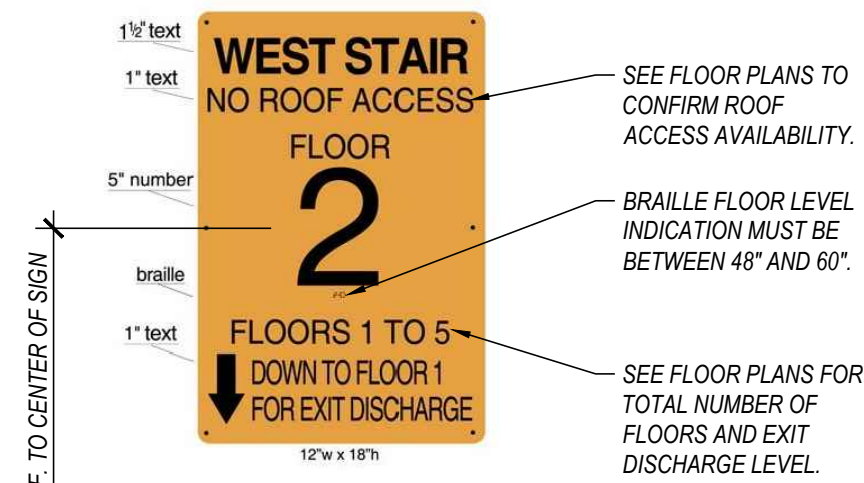
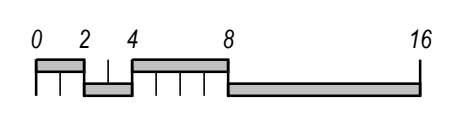
SHEET TITLE:
 SITE PLAN



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FIRST FLOOR PLAN
 SCALE: 1/8"=1'-0"



1 STAIRWELL SIGN
 SCALE: 1 1/2" = 1'-0"



2 ADA TOILET DIRECTIONAL SIGN
 SCALE: 1 1/2" = 1'-0"

FLOOR PLAN KEYED NOTES:

- KAWNEER VG 451 FRONT PLANE GLAZING SYSTEM, TYPICAL AT ALL EXTERIOR STOREFRONT AND WINDOW LOCATIONS.
- 1 1/2" DIAMETER PAINTED STEEL HANDRAIL AND GUARDRAILS.
- VALIANT 24" DIAMETER FACTORY FABRICATED LINEN CHUTE WITH 90 MINUTE RATED 24"x30" LINEN DISCHARGE DOOR AT 2ND FLOOR AND 18"x18" LINEN CHUTE ACCESS DOORS @ 3RD - 7TH FLOORS. DOORS SHALL BE SELF CLOSING AND SELF LATCHING. PROVIDE SPRINKLER HEADS IN CHUTE.
- KOALA DIAPER CHANGING STATION.
- DIESEL STANDBY GENERATOR FOR ELEVATOR OPERATION PER IBC 3003.1. GENERATOR SHALL BE SIZED TO OPERATE BOTH ELEVATORS SIMULTANEOUSLY. FUEL TANK SHALL BE SIZED FOR A MINIMUM OF 2 HOURS OF OPERATION AT 100% LOAD.
- PROPOSED FIRST AIDE KIT LOCATION.
- PROVIDE A CARBON MONOXIDE DETECTOR AT LOCATIONS SHOWN.
- ELEVATORS TO HAVE 42" WIDE DOORS AND SHALL BE SCHINDLER 5500 MRL TRACTION TYPE WITH 350 FPM RATED SPEED. ELEVATOR #1 SHALL BE 3500# FRONT OPENING SIZED FOR AMBULANCE STRETCHER ACCESS AND IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES "STAR OF LIFE" PER IBC 3002.4. ELEVATOR #2 SHALL BE 3500# FRONT/REAR OPENING. VERIFY ALL REQUIREMENTS WITH SUPPLIER PRIOR TO CONSTRUCTION. PROVIDE HANDRAIL ON REAR WALL AT 32" A.F.F. MINIMUM. PROVIDE SIGN "DO NOT USE IN CASE OF FIRE". PROVIDE 2-WAY COMMUNICATION AS PER THE IFC ON 2ND THRU 7TH FLOORS ADJACENT TO ELEVATOR DOORS. SYSTEM AND LOCATION SHALL BE APPROVED BY THE FIRE MARSHALL. PROVIDE PICTORIAL SIGN "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS" COMPLYING WITH IBC 3002.3. FINAL DESIGN SHALL BE APPROVED BY THE FIRE MARSHALL. FINAL FITNESS ROOM LAYOUT AND FINISHES SHALL COMPLY WITH FRANCHISE FITNESS STANDARDS.
- PROPOSED LOCATION OF WALL MOUNTED HOUSE PHONE MOUNTED @ 48" A.F.F. TYPICAL. PHONE SHALL RING @ FRONT DESK.
- POOL LADDER AND HANDRAILS.
- ACCESSIBLE POOL STAIRS WITH 1 1/2" DIAMETER S/S HANDRAILS.
- CLEAR DECK SPACE SLOPE TO TRENCH AND/OR AREA DRAINS 1/4" PER FOOT MAXIMUM. TYPICAL 5'-0" CLEAR AROUND POOL AND SPA. FINAL DESIGN OF POOL AND DECK MUST MEET ALL STATE AND FRANCHISE STANDARDS AND REQUIREMENTS.
- TACTILE EXIT SIGN PER IBC 1011.3 @ EACH STAIRWELL DOOR AND EXIT DOOR.
- WALL MOUNTED HDTV TELEVISION. CONCEAL ALL POWER/CABLE CONNECTIONS.
- TOWEL AND HAMPER CABINET LOCATION.
- 6" X 2 1/2" CURTAIN WALL.
- STAIRWELL SIGN MOUNTED @ 5'-0" A.F.F. AT EACH FLOOR NEXT TO DOOR AS SHOWN. SEE DETAIL 1A1.1 FOR INFORMATION. FINAL DESIGN SHALL BE APPROVED BY THE FIRE MARSHALL.
- PROPOSED LOCATION OF FIRE ALARM CONTROL PANEL. VERIFY WITH FIRE MARSHALL. SYSTEM SHALL ACTIVATE UPON FIRE SPRINKLER WATER FLOW.
- DEPRESSED FLOOR CONSTRUCTION AT ROLL-IN SHOWER IN ACCESSIBLE ROOMS. PROVIDE AN ADDITIONAL FLOOR DRAIN OUTSIDE OF THE SHOWER.
- PROVIDE HANDICAP ACCESSIBLE LIFT FOR POOL AND SPA. VERIFY INSTALLATION DETAILS WITH MANUFACTURER.
- MAIN ENTRY CARD READER LOCATION WITH INTERCOM TO FRONT DESK.
- EMPLOYEE LOCKERS (10), 2.5 CUBIC FOOT MINIMUM.
- WATER COOLER LOCATION.
- PILKINGTON PROLIFT INSULATED CHANNEL GLASS SYSTEM.
- HOSHIZAKI H8230H ICE DISPENSER (200# CAPACITY) WITH #KM-320MAH ICE MACHINE (35# DAILY CAPACITY) TYPICAL.
- FIRE PROTECTION DRY STANDPIPE LOCATION WITH VALVES AT EACH LANDING. VERIFY WITH FIRE DEPARTMENT.
- PROVIDE KNOX BOX AS DIRECTED BY THE FIRE MARSHALL.
- PROVIDE OCCUPANT LOAD SIGNS IN MEETING ROOM, POOL, LOBBY AND BREAKFAST AREA. DESIGN AND LOCATION SHALL BE APPROVED BY THE FIRE MARSHALL.
- PROVIDE DOOR SIGN (FIRE RISER) ON DOOR. PROVIDE A FIRE FLOW STROBE ABOVE DOOR AS DIRECTED BY THE FIRE MARSHALL.

MECHANICAL/ELECTRICAL SYSTEMS

- GUEST ROOM EXHAUST AND MAKE-UP AIR WILL BE PROVIDED VIA COMBINATION ERV/MAU UNITS ON THE ROOF.
- MAIN AREA HEATING AND COOLING WILL BE PROVIDED VIA A MITSUBISHI OR DIAKIN VRF SYSTEM WITH SUPPLEMENTARY ELECTRIC HEAT. FRESH AIR WILL BE PROVIDED BY THE ROOF MOUNTED ERV/MAU UNITS.
- POOL DEHUMIDIFICATION WILL BE ACCOMPLISHED VIA A SERESCO INDOOR UNIT WITH ROOF MOUNTED CONDENSING UNIT.
- STANDBY GENERATOR WILL BE PROVIDED FOR ELEVATOR OPERATION ONLY.
- FIRE PUMPS WILL BE DIRECT WIRED TO THE ELECTRICAL SERVICE VIA A FIRE PUMP CONTROLLER.
- EMERGENCY LIGHTS AND EXIT SIGNS WILL BE BATTERY BACKUP.

FINISH SCHEDULE:

- GENERAL FINISH NOTES:**
- ALL FLOORS TO BE F1 U.N.O.
 - ALL WALLS TO RECEIVE BASE B1 U.N.O.
 - ALL WALLS TO BE PAINTED W1 U.N.O.
 - FINAL FINISH SELECTIONS SUBJECT TO CHANGE. FINISHES INDICATE TYPE OF FLOORING, CONTRACTOR TO VERIFY FINAL FINISH SCHEDULE PRIOR TO ORDERING ANY MATERIALS.

- FLOOR (F#)**
- CARPET, CARPET TILES, OR CARPET & PAD
 - TILE. INSTALL OVER NOBLE SEAL SIS SOUND MEMBRANE AT UPPER FLOORS.
 - EXPOSED SEALED CONCRETE
 - KOOL DECK (AT POOL ONLY)
 - VCT, LVT, LINOLEUM
 - CARPET TILES AT FITNESS.

- BASE (B#)**
- CARPET BASE
 - TILE BASE
 - RUBBER BASE
 - NO BASE

- WALL (W#)**
- PAINTED 100% ACRYLIC KNOCK-DOWN WALL FINISH PRODUCT
 - VINYL WALL COVERING
 - FRP
 - TILE WAHNSCOT

GENERAL NOTES:

- FINISHED FLOOR ELEVATION IS INDICATED AS 100'-0" FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL ELEVATION OF FINISHED FLOOR.
- ALL DIMENSIONS ARE TO CENTERLINE OF STUDS AND COLUMNS OR FACE OF FINISHED WALLS U.N.O. (FACE OF SHEATHING AT EXTERIOR WALLS).
- T.G. INDICATES TEMPERED GLASS LOCATIONS.
- ALUMINUM WINDOWS TO BE THERMALLY BROKEN INSULATED WINDOWS.
- PROVIDE FIRE ALARM HORNS AND STROBES IN ALL WHEEL CHAIR & HEARING LOSS ACCESSIBLE ROOMS, INCLUDING TOILET ROOMS.
- SEE A3 # SHEETS FOR ENLARGED GUEST ROOM AND COMMON AREA PLANS.
- SEE A4 # SHEETS FOR TYPICAL GUEST ROOM INTERIOR ELEVATIONS.
- POOL DRAWING SHALL BE SUBMITTED TO FRANCHISE FOR APPROVAL. POOLS MUST UTILIZE ANTI-VORTEX DRAIN COVERS COMPLIANT WITH ASME A112.19.8-2007. DRAWINGS SHALL INCLUDE ALL DECK AND SUB-SURFACE DRAINAGE DETAILS (2 DRAINS MINIMUM IN POOL AND SPA). SAFETY EQUIPMENT, SIGNAGE, UNDERWATER LIGHTING, DEPTH MARKINGS, "NO DIVING" SYMBOLS, ADA LIFTS, FURNITURE, ETC. A LIQUID POOL COVER, HEATSAVR OR EQUAL, IS REQUIRED.

WALL FIRE RATING LEGEND

- WALL TYPE, SEE SHEET A0.2
- NOTE: PROVIDE WALL MARKING AS PER 8A0.3 ABOVE ACCESSIBLE CEILINGS FOR ALL FIRE PARTITIONS AND FIRE BARRIERS. SEE DESIGN DATA "CHAPTER 7" AND FLOOR PLANS FOR MORE INFORMATION ON WALL TYPES.
- 1 HOUR RATED FIRE PARTITION (RESIDENTIAL CORRIDORS, ELEVATOR LOBBY, GUEST ROOM SEPARATION WALLS)
- 1 HOUR FIRE BARRIER (LINEN CHUTE ACCESS ROOMS, 2 STORY STAIRWELLS)
- 2 HOUR FIRE BARRIER (STAIRWELLS, ELEVATOR & MECHANICAL SHAFTS, LINEN CHUTE, ATRIUM)

ROOM TYPE MATRIX

FLOOR	KING ROOM	QUEEN/QUEEN ROOM	KING ACC. ROOM	QUEEN / QUEEN ACC. ROOM	FLOOR TOTAL
3RD	11	11	1	1	24
4TH	11	11	1	1	24
5TH	11	11	1	1	24
6TH	11	11	1	1	24
7TH	11	11	1	1	24
TOTAL	55	55	5	5	120

WHEEL CHAIR ACCESSIBLE (MOBILITY FEATURES) 101 TO 150 TOTAL GUEST ROOMS = 7 ROOMS (5 TUB + 2 ROLL-IN SHOWER REQUIRED).

HEARING LOSS ACCESSIBLE (COMMUNICATION FEATURES) 101 TO 150 TOTAL GUEST ROOMS = 12 ROOMS REQUIRED (ONLY 1 ROOM THAT IS ALSO A WHEEL CHAIR ACCESSIBLE ROOM MAY COUNT TOWARDS THE TOTAL REQUIRED NUMBER PER 2010 ADAAG SECTION 224.5).

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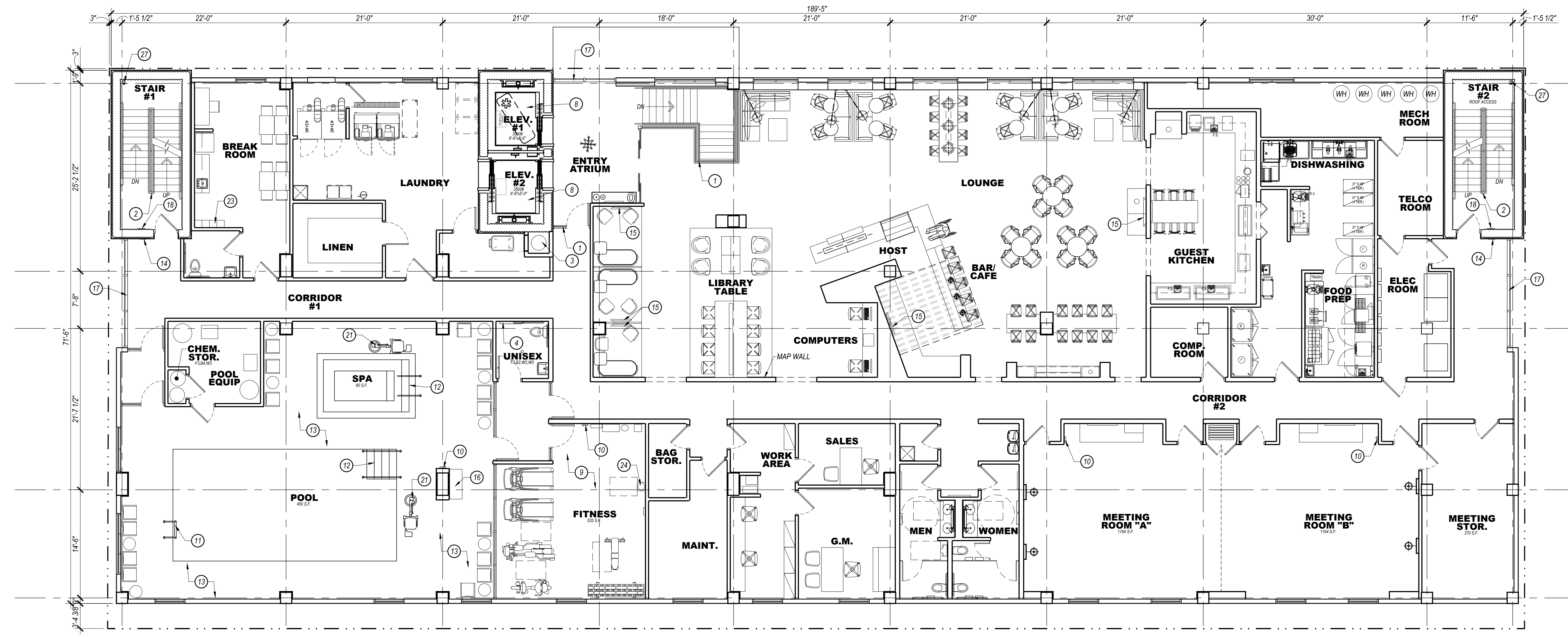
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DRAWING ISSUE DATES:
 8/7/17 - Preliminary Drawings

PROJECT MANAGER:
 NICK PIRKL

DRAWN BY:
 NAP

SHEET TITLE:
FIRST FLOOR PLAN



SECOND FLOOR PLAN
 SCALE: 1/8"=1'-0"
 0 2 4 8 16

MECHANICAL/ELECTRICAL SYSTEMS

- A. GUEST ROOM EXHAUST AND MAKE-UP AIR WILL BE PROVIDED VIA COMBINATION ERV/MAU UNITS ON THE ROOF.
- B. MAIN AREA HEATING AND COOLING WILL BE PROVIDED VIA A MITSUBISHI OR DIKIN VRF SYSTEM WITH SUPPLEMENTARY ELECTRIC HEAT. FRESH AIR WILL BE PROVIDED BY THE ROOF MOUNTED ERV/MAU UNITS.
- C. POOL DEHUMIDIFICATION WILL BE ACCOMPLISHED VIA A SERESCO INDOOR UNIT WITH ROOF MOUNTED CONDENSING UNIT.
- D. STANDBY GENERATOR WILL BE PROVIDED FOR ELEVATOR OPERATION ONLY.
- E. FIRE PUMPS WILL BE DIRECT WIRED TO THE ELECTRICAL SERVICE VIA A FIRE PUMP CONTROLLER.
- F. EMERGENCY LIGHTS AND EXIT SIGNS WILL BE BATTERY BACKUP.

FINISH SCHEDULE:

- GENERAL FINISH NOTES:**
1. ALL FLOORS TO BE F1 U.N.O.
 2. ALL WALLS TO RECEIVE BASE B1 U.N.O.
 3. ALL WALLS TO BE PAINTED W1 U.N.O.
 4. FINAL FINISH SELECTIONS SUBJECT TO CHANGE. FINISHES INDICATE TYPE OF FLOORING. CONTRACTOR TO VERIFY FINAL FINISH SCHEDULE PRIOR TO ORDERING ANY MATERIALS.
- FLOOR (F_x)**
- F1 CARPET, CARPET TILES, OR CARPET & PAD
 - F2 TILE. INSTALL OVER NOBLE SEAL. SIS SOUND MEMBRANE AT UPPER FLOORS.
 - F3 EXPOSED SEALED CONCRETE
 - F4 KOOL DECK (AT POOL ONLY)
 - F5 VCT, LVT, LINOLEUM
 - F6 CARPET TILES AT FITNESS.
- BASE (B_x)**
- B1 CARPET BASE
 - B2 TILE BASE
 - B3 RUBBER BASE
 - B4 NO BASE
- WALL (W_x)**
- W1 PAINTED 100% ACRYLIC KNOCK-DOWN WALL FINISH PRODUCT
 - W2 VINYL WALL COVERING
 - W3 FRP
 - W4 TILE WAJNSCOT

GENERAL NOTES:

- A. FINISHED FLOOR ELEVATION IS INDICATED AS 100'-0" FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL ELEVATION OF FINISHED FLOOR.
- B. ALL DIMENSIONS ARE TO CENTERLINE OF STUDS AND COLUMNS OR FACE OF FINISHED WALLS U.N.O. (FACE OF SHEATHING AT EXTERIOR WALLS).
- C. T.G. INDICATES TEMPERED GLASS LOCATIONS.
- D. ALUMINUM WINDOWS TO BE THERMALLY BROKEN INSULATED WINDOWS.
- E. PROVIDE FIRE ALARM HORNS AND STROBES IN ALL WHEEL CHAIR & HEARING LOSS ACCESSIBLE ROOMS, INCLUDING TOILET ROOMS.
- F. SEE A3 # SHEETS FOR ENLARGED GUEST ROOM AND COMMON AREA PLANS.
- G. SEE A5 # SHEETS FOR TYPICAL GUEST ROOM INTERIOR ELEVATIONS.
- H. POOL DRAWING SHALL BE SUBMITTED TO FRANCHISE FOR APPROVAL. POOLS MUST UTILIZE ANTI-VORTEX DRAIN COVERS COMPLIANT WITH ASME A112.19.8-2007. DRAWINGS SHALL INCLUDE ALL DECK AND SUB-SURFACE DRAINAGE DETAILS (2 DRAINS MINIMUM IN POOL AND SPA), SAFETY EQUIPMENT, SIGNAGE, UNDERWATER LIGHTING, DEPTH MARKINGS, "NO DIVING" SYMBOLS, ADA LIFTS, FURNITURE, ETC. A LIQUID POOL COVER, HEATSAVR OR EQUAL, IS REQUIRED.

WALL FIRE RATING LEGEND

- [X] WALL TYPE, SEE SHEET A0.2
- NOTE: PROVIDE WALL MARKING AS PER 810.3 ABOVE ACCESSIBLE CEILINGS FOR ALL FIRE PARTITIONS AND FIRE BARRIERS. SEE DESIGN DATA "CHAPTER 7" AND FLOOR PLANS FOR MORE INFORMATION ON WALL TYPES.
- 1 HOUR RATED FIRE PARTITION (RESIDENTIAL CORRIDORS, ELEVATOR LOBBY, GUEST ROOM SEPARATION WALLS)
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FLOOR PLAN KEYED NOTES:

1. KAWNEER VG 451 FRONT PLANE GLAZING SYSTEM, TYPICAL AT ALL EXTERIOR STOREFRONT AND WINDOW LOCATIONS.
2. 1 1/2" DIAMETER PAINTED STEEL HANDRAIL AND GUARDRAILS.
3. VALIANT 24" DIAMETER FACTORY FABRICATED LINEN CHUTE WITH 90 MINUTE RATED 24"x30" LINEN DISCHARGE DOOR AT 2ND FLOOR AND 18"x18" LINEN CHUTE ACCESS DOORS @ 3RD - 7TH FLOORS. DOORS SHALL BE SELF CLOSING AND SELF LATCHING. PROVIDE SPRINKLER HEADS IN CHUTE.
4. KOALA DIAPER CHANGING STATION.
5. DIESEL STANDBY GENERATOR FOR ELEVATOR OPERATION PER IBC 3003.1. GENERATOR SHALL BE SIZED TO OPERATE BOTH ELEVATORS SIMULTANEOUSLY. FUEL TANK SHALL BE SIZED FOR A MINIMUM OF 2 HOURS OF OPERATION AT 100% LOAD.
6. PROPOSED FIRST AIDE KIT LOCATION.
7. PROVIDE A CARBON MONOXIDE DETECTOR AT LOCATIONS SHOWN.
8. ELEVATORS TO HAVE 42" WIDE DOORS AND SHALL BE SCHINDLER 5500 MRL TRACTION TYPE WITH 350 FPM RATED SPEED. ELEVATOR #1 SHALL BE 3500# FRONT OPENING SIZED FOR AMBULANCE STRETCHER ACCESS AND IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES "STAR OF LIFE" PER IBC 3002.4. ELEVATOR #2 SHALL BE 3500# FRONT/REAR OPENING. VERIFY ALL REQUIREMENTS WITH SUPPLIER PRIOR TO CONSTRUCTION. PROVIDE HANDRAIL ON REAR WALL AT 32" A.F.F. MINIMUM. PROVIDE SIGN "DO NOT USE IN CASE OF FIRE". PROVIDE 2-WAY COMMUNICATION AS PER THE IFC ON 2ND THRU 7TH FLOORS ADJACENT TO ELEVATOR DOORS. SYSTEM AND LOCATION SHALL BE APPROVED BY THE FIRE MARSHALL. PROVIDE PICTORIAL SIGN "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS" COMPLYING WITH IBC 3002.3. FINAL DESIGN SHALL BE APPROVED BY THE FIRE MARSHALL. FINAL FITNESS ROOM LAYOUT AND FINISHES SHALL COMPLY WITH FRANCHISE FITNESS STANDARDS.
9. PROPOSED LOCATION OF WALL MOUNTED HOUSE PHONE MOUNTED @ 48" A.F.F. TYPICAL. PHONE SHALL RING @ FRONT DESK.
10. POOL LADDER AND HANDRAILS.
11. ACCESSIBLE POOL STAIRS WITH 1 1/2" DIAMETER S/S HANDRAILS.
12. CLEAR DECK SPACE SLOPE TO TRENCH AND/OR AREA DRAINS 1/4" PER FOOT MAXIMUM. TYPICAL 5'-0" CLEAR AROUND POOL AND SPA. FINAL DESIGN OF POOL AND DECK MUST MEET ALL STATE AND FRANCHISE STANDARDS AND REQUIREMENTS.
13. TACTILE EXIT SIGN PER IBC 1011.3 @ EACH STAIRWELL DOOR AND EXIT DOOR.
14. WALL MOUNTED HDTV TELEVISION. CONCEAL ALL POWER/CABLE CONNECTIONS.
15. TOWEL AND HAMPER CABINET LOCATION.
16. 6" X 1/2" CURTAIN WALL.
17. STAIRWELL SIGN MOUNTED @ 5'-0" A.F.F. AT EACH FLOOR NEXT TO DOOR AS SHOWN. SEE DETAIL 11A.1 FOR INFORMATION. FINAL DESIGN SHALL BE APPROVED BY THE FIRE MARSHALL.
18. PROPOSED LOCATION OF FIRE ALARM CONTROL PANEL. VERIFY WITH FIRE MARSHALL. SYSTEM SHALL ACTIVATE UPON FIRE SPRINKLER WATER FLOW.
19. DEPRESSED FLOOR CONSTRUCTION AT ROLL-IN SHOWER IN ACCESSIBLE ROOMS. PROVIDE AN ADDITIONAL FLOOR DRAIN OUTSIDE OF THE SHOWER.
20. PROVIDE HANDICAP ACCESSIBLE LIFT FOR POOL AND SPA. VERIFY INSTALLATION DETAILS WITH MANUFACTURER.
21. MAIN ENTRY CARD READER LOCATION WITH INTERCOM TO FRONT DESK.
22. EMPLOYEE LOCKERS (10), 2.5 CUBIC FOOT MINIMUM.
23. WATER COOLER LOCATION.
24. PILKINGTON PROLIFIT INSULATED CHANNEL GLASS SYSTEM.
25. HOSHIZAKI H0200N ICE DISPENSER (200# CAPACITY) WITH #KM-320MAH ICE MACHINE (35# DAILY CAPACITY) TYPICAL.
26. FIRE PROTECTION DRY STANDPIPE LOCATION WITH VALVES AT EACH LANDING. VERIFY WITH FIRE DEPARTMENT.
27. PROVIDE KNOX BOX AS DIRECTED BY THE FIRE MARSHALL.
28. PROVIDE OCCUPANT LOAD SIGNS IN MEETING ROOM, POOL, LOBBY AND BREAKFAST AREA. DESIGN AND LOCATION SHALL BE APPROVED BY THE FIRE MARSHALL.
29. PROVIDE DOOR SIGN (FIRE RISER) ON DOOR. PROVIDE A FIRE FLOW STROBE ABOVE DOOR AS DIRECTED BY THE FIRE MARSHALL.

HYATT PLACE
 (PRELIMINARY DRAWINGS)
 225 E. KIOWA ST.
 COLORADO SPRINGS, CO 80903

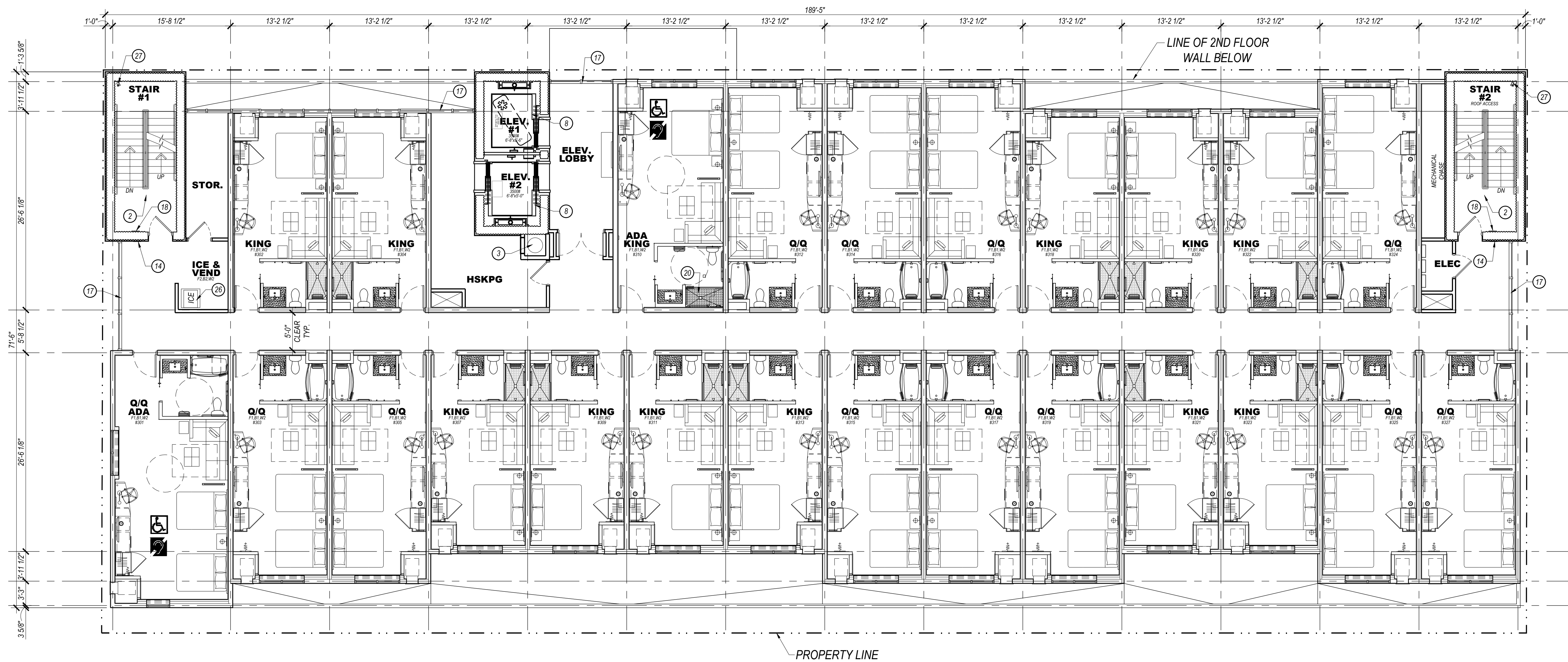
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DRAWING ISSUE DATES:
 8/7/17 - Preliminary Drawings

PROJECT MANAGER:
 NICK PIRKL

DRAWN BY:
 NAP

SHEET TITLE:
SECOND FLOOR PLAN
 SHEET: 39 OF



THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"
4TH-7TH FLOORS SIMILAR

MECHANICAL/ELECTRICAL SYSTEMS

- A. GUEST ROOM EXHAUST AND MAKE-UP AIR WILL BE PROVIDED VIA COMBINATION ERV/MAU UNITS ON THE ROOF.
- B. MAIN AREA HEATING AND COOLING WILL BE PROVIDED VIA A MITSUBISHI OR DIAKIN VRF SYSTEM WITH SUPPLEMENTARY ELECTRIC HEAT. FRESH AIR WILL BE PROVIDED BY THE ROOF MOUNTED ERV/MAU UNITS.
- C. POOL DEHUMIDIFICATION WILL BE ACCOMPLISHED VIA A SERESCO INDOOR UNIT WITH ROOF MOUNTED CONDENSING UNIT.
- D. STANDBY GENERATOR WILL BE PROVIDED FOR ELEVATOR OPERATION ONLY.
- E. FIRE PUMPS WILL BE DIRECT WIRED TO THE ELECTRICAL SERVICE VIA A FIRE PUMP CONTROLLER.
- F. EMERGENCY LIGHTS AND EXIT SIGNS WILL BE BATTERY BACKUP.

FINISH SCHEDULE:

- GENERAL FINISH NOTES:**
1. ALL FLOORS TO BE F1 U.N.O.
 2. ALL WALLS TO RECEIVE BASE B1 U.N.O.
 3. ALL WALLS TO BE PAINTED W1 U.N.O.
 4. FINAL FINISH SELECTIONS SUBJECT TO CHANGE. FINISHES INDICATE TYPE OF FLOORING. CONTRACTOR TO VERIFY FINAL FINISH SCHEDULE PRIOR TO ORDERING ANY MATERIALS.

- FLOOR (F_x)**
- F1 CARPET, CARPET TILES, OR CARPET & PAD
 - F2 TILE. INSTALL OVER NOBLE SEAL SIS SOUND MEMBRANE AT UPPER FLOORS.
 - F3 EXPOSED SEALED CONCRETE
 - F4 KOOL DECK (AT POOL ONLY)
 - F5 VCT, LVT, LINOLEUM
 - F6 CARPET TILES AT FITNESS

- BASE (B_x)**
- B1 CARPET BASE
 - B2 TILE BASE
 - B3 RUBBER BASE
 - B4 NO BASE

- WALL (W_x)**
- W1 PAINTED 100% ACRYLIC KNOCK-DOWN WALL FINISH PRODUCT
 - W2 VINYL WALL COVERING
 - W3 FRP
 - W4 TILE WAHNSCOT

GENERAL NOTES:

- A. FINISHED FLOOR ELEVATION IS INDICATED AS 100'-0" FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL ELEVATION OF FINISHED FLOOR.
- B. ALL DIMENSIONS ARE TO CENTERLINE OF STUDS AND COLUMNS OR FACE OF FINISHED WALLS U.N.O. (FACE OF SHEATHING AT EXTERIOR WALLS).
- C. T.G. INDICATES TEMPERED GLASS LOCATIONS.
- D. ALUMINUM WINDOWS TO BE THERMALLY BROKEN INSULATED WINDOWS.
- E. PROVIDE FIRE ALARM HORNS AND STROBES IN ALL WHEEL CHAIR & HEARING LOSS ACCESSIBLE ROOMS, INCLUDING TOILET ROOMS.
- F. SEE A3 # SHEETS FOR ENLARGED GUEST ROOM AND COMMON AREA PLANS.
- G. SEE A5 # SHEETS FOR TYPICAL GUEST ROOM INTERIOR ELEVATIONS.
- H. POOL DRAWING SHALL BE SUBMITTED TO FRANCHISE FOR APPROVAL. POOLS MUST UTILIZE ANTI-VORTEX DRAIN COVERS COMPLIANT WITH ASME A112.19.8-2007. DRAWINGS SHALL INCLUDE ALL DECK AND SUB-SURFACE DRAINAGE DETAILS (2 DRAINS MINIMUM IN POOL AND SPA), SAFETY EQUIPMENT, SIGNAGE, UNDERWATER LIGHTING, DEPTH MARKINGS, "NO DIVING" SYMBOLS, ADA LIFTS, FURNITURE, ETC. A LIQUID POOL COVER, HEATSAVR OR EQUAL, IS REQUIRED.

WALL FIRE RATING LEGEND

- [X] WALL TYPE, SEE SHEET A0.2
- NOTE: PROVIDE WALL MARKING AS PER 810.3 ABOVE ACCESSIBLE CEILINGS FOR ALL FIRE PARTITIONS AND FIRE BARRIERS. SEE DESIGN DATA "CHAPTER 7" AND FLOOR PLANS FOR MORE INFORMATION ON WALL TYPES.

- 1 HOUR RATED FIRE PARTITION (RESIDENTIAL CORRIDORS, ELEVATOR LOBBY, GUEST ROOM SEPARATION WALLS)
- 1 HOUR FIRE BARRIER (LINEN CHUTE ACCESS ROOMS, 2 STORY STAIRWELLS)
- 2 HOUR FIRE BARRIER (STAIRWELLS, ELEVATOR & MECHANICAL SHAFTS, LINEN CHUTE, ATRIUM)

ROOM TYPE MATRIX

FLOOR	KING ROOM	QUEEN/QUEEN ROOM	KING ACC. ROOM	QUEEN / QUEEN ACC. ROOM	FLOOR TOTAL
3RD	11	11	1	1	24
4TH	11	11	1	1	24
5TH	11	11	1	1	24
6TH	11	11	1	1	24
7TH	11	11	1	1	24
TOTAL	55	55	5	5	120

WHEEL CHAIR ACCESSIBLE (MOBILITY FEATURES) 101 TO 150 TOTAL GUEST ROOMS = 7 ROOMS (5 TUB + 2 ROLL-IN SHOWER REQUIRED).

HEARING LOSS ACCESSIBLE (COMMUNICATION FEATURES) 101 TO 150 TOTAL GUEST ROOMS = 12 ROOMS REQUIRED (ONLY 1 ROOM THAT IS ALSO A WHEEL CHAIR ACCESSIBLE ROOM MAY COUNT TOWARDS THE TOTAL REQUIRED NUMBER PER 2010 ADAAG SECTION 224.5).

FLOOR PLAN KEYED NOTES:

1. KAWNEER VG 451 FRONT PLANE GLAZING SYSTEM, TYPICAL AT ALL EXTERIOR STOREFRONT AND WINDOW LOCATIONS.
2. 1 1/2" DIAMETER PAINTED STEEL HANDRAIL AND GUARDRAILS.
3. VALIANT 24" DIAMETER FACTORY FABRICATED LINEN CHUTE WITH 90 MINUTE RATED 24"x30" LINEN DISCHARGE DOOR AT 2ND FLOOR AND 18"x18" LINEN CHUTE ACCESS DOORS @ 3RD - 7TH FLOORS. DOORS SHALL BE SELF CLOSING AND SELF LATCHING. PROVIDE SPRINKLER HEADS IN CHUTE.
4. KOALA DIAPER CHANGING STATION.
5. DIESEL STANDBY GENERATOR FOR ELEVATOR OPERATION PER IBC 3003.1. GENERATOR SHALL BE SIZED TO OPERATE BOTH ELEVATORS SIMULTANEOUSLY. FUEL TANK SHALL BE SIZED FOR A MINIMUM OF 2 HOURS OF OPERATION AT 100% LOAD.
6. PROPOSED FIRST AIDE KIT LOCATION.
7. PROVIDE A CARBON MONOXIDE DETECTOR AT LOCATIONS SHOWN.
8. ELEVATORS TO HAVE 42" WIDE DOORS AND SHALL BE SCHINDLER 5500 MRL TRACTION TYPE WITH 350 FPM RATED SPEED. ELEVATOR #1 SHALL BE 3500# FRONT OPENING SIZED FOR AMBULANCE STRETCHER ACCESS AND IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES "STAR OF LIFE" PER IBC 3002.4. ELEVATOR #2 SHALL BE 3500# FRONT/REAR OPENING. VERIFY ALL REQUIREMENTS WITH SUPPLIER PRIOR TO CONSTRUCTION. PROVIDE HANDRAIL ON REAR WALL AT 32" A.F.F. MINIMUM. PROVIDE SIGN "DO NOT USE IN CASE OF FIRE". PROVIDE 2-WAY COMMUNICATION AS PER THE IFC ON 2ND THRU 7TH FLOORS ADJACENT TO ELEVATOR DOORS. SYSTEM AND LOCATION SHALL BE APPROVED BY THE FIRE MARSHALL. PROVIDE PICTORIAL SIGN "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS" COMPLYING WITH IBC 3002.3. FINAL DESIGN SHALL BE APPROVED BY THE FIRE MARSHALL. FINAL FITNESS ROOM LAYOUT AND FINISHES SHALL COMPLY WITH FRANCHISE FITNESS STANDARDS.
9. PROPOSED LOCATION OF WALL MOUNTED HOUSE PHONE MOUNTED @ 48" A.F.F. TYPICAL. PHONE SHALL RING @ FRONT DESK.
10. POOL LADDER AND HANDRAILS.
11. ACCESSIBLE POOL STAIRS WITH 1 1/2" DIAMETER S/S HANDRAILS.
12. CLEAR DECK SPACE SLOPE TO TRENCH AND/OR AREA DRAINS 1/4" PER FOOT MAXIMUM. TYPICAL 5'-0" CLEAR AROUND POOL AND SPA. FINAL DESIGN OF POOL AND DECK MUST MEET ALL STATE AND FRANCHISE STANDARDS AND REQUIREMENTS.
13. TACTILE EXIT SIGN PER IBC 1011.3 @ EACH STAIRWELL DOOR AND EXIT DOOR.
14. WALL MOUNTED HDTV TELEVISION, CONCEAL ALL POWER/CABLE CONNECTIONS.
15. TOWEL AND HAMPER CABINET LOCATION.
16. 6" X 2 1/2" CURTAIN WALL.
17. STAIRWELL SIGN MOUNTED @ 5'-0" A.F.F. AT EACH FLOOR NEXT TO DOOR AS SHOWN. SEE DETAIL 11A.1 FOR INFORMATION. FINAL DESIGN SHALL BE APPROVED BY THE FIRE MARSHALL.
18. PROPOSED LOCATION OF FIRE ALARM CONTROL PANEL. VERIFY WITH FIRE MARSHALL. SYSTEM SHALL ACTIVATE UPON FIRE SPRINKLER WATER FLOW.
19. DEPRESSED FLOOR CONSTRUCTION AT ROLL-IN SHOWER IN ACCESSIBLE ROOMS. PROVIDE AN ADDITIONAL FLOOR DRAIN OUTSIDE OF THE SHOWER.
20. PROVIDE HANDICAP ACCESSIBLE LIFT FOR POOL AND SPA. VERIFY INSTALLATION DETAILS WITH MANUFACTURER.
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DRAWING ISSUE DATES:
8/7/17 - Preliminary Drawings

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

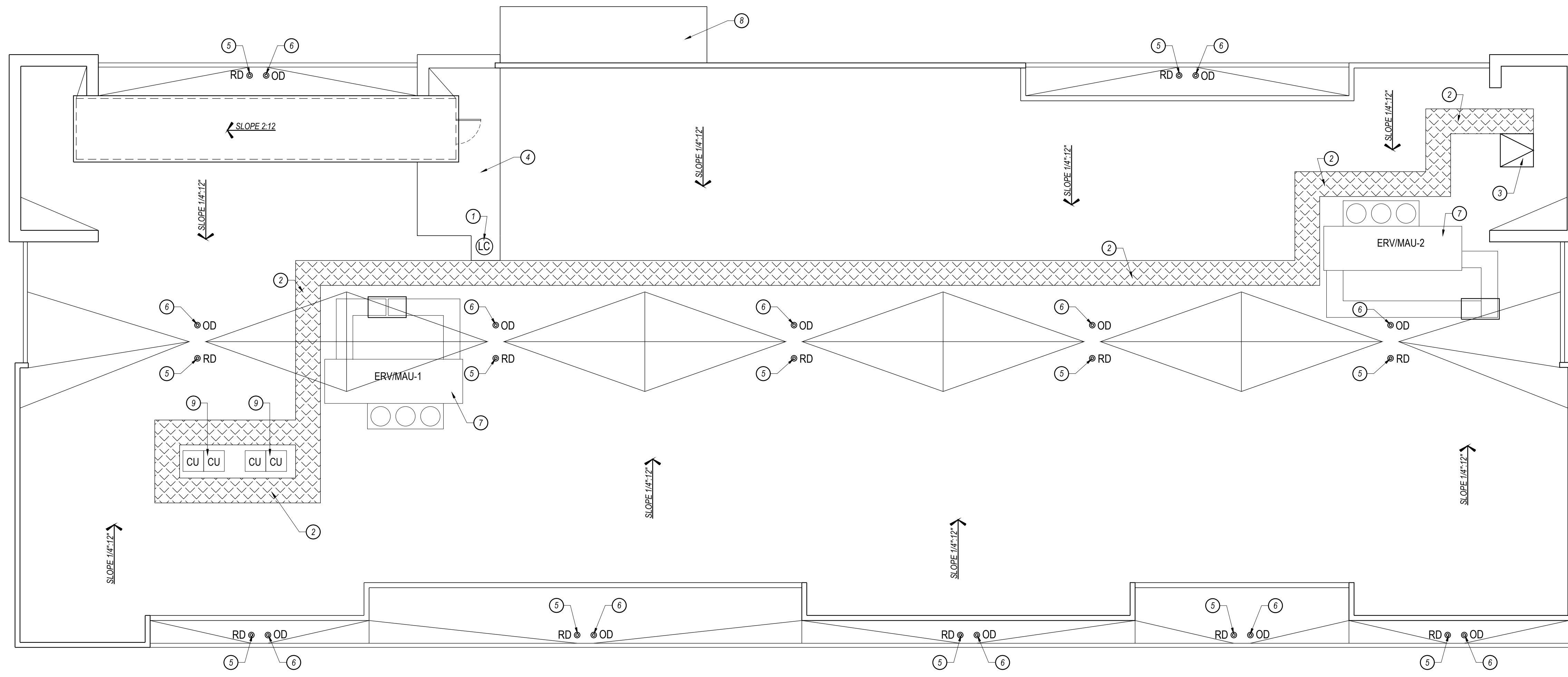
SHEET TITLE:
THIRD THROUGH SEVENTH FLOOR PLANS

A1.3

SHEET: OF



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GENERAL NOTES:

- A. LOW SLOPE ROOFING SHALL BE CLASS "B" ROOF ASSEMBLY 60 MIL TAN COLORED TPO MEMBRANE INSTALLED OVER 5" MINIMUM THICKNESS POLY-ISOCYANURATE AND SHALL BE AT 1/4:12 SLOPE, GAF OR EQUAL. PROVIDE CRICKETS AS SHOWN AND AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE. CRICKETS SHALL SLOPE 1/2:12 MINIMUM. ALL ROOFING MATERIALS SHALL BE U.L. LISTED AND APPROVED.
- B. INSTALLATION OF ALL ROOFING MATERIALS AND COMPONENTS SHALL BE AS PER EACH INDIVIDUAL MANUFACTURERS RECOMMENDATIONS.
- C. PROVIDE PRE-FINISHED SHEET METAL PARAPET CAP AT ALL PARAPETS, HICKMAN 20 GA. PERMASNAP SYSTEM OR EQUAL.
- D. COORDINATE SIZE AND LOCATION AND INSTALLATION REQUIREMENT OF SATELLITE DISH PROVIDED BY AV CONTRACTOR. ROOF TRUSSES IN AFFECTED AREA SHALL BE DESIGNED TO ACCOMMODATE ALL HORIZONTAL AND VERTICAL LOADS FROM DISH.

ROOF PLAN KEYED NOTES:

- 1. LINEN CHUTE VENT LOCATION. PROVIDE WITH FACTORY RAIN CAP.
- 2. ROOF SERVICE WALKWAY COMPATIBLE WITH ROOFING SYSTEM.
- 3. 48"x48" BILCO ROOF ACCESS HATCH WITH SAFETY RAIL SYSTEM.
- 4. ELEVATOR SHAFT ROOF.
- 5. TYPICAL INSULATED ROOF DRAIN DOWN TO GRADE. SEE MECHANICAL AND CIVIL DRAWINGS FOR MORE INFORMATION.
- 6. ROOF OVERFLOW DRAIN, DOWN TO GRADE. SEE MECHANICAL AND CIVIL DRAWINGS FOR MORE INFORMATION.
- 7. COMBINATION ENERGY RECOVERY VENTILATOR/MAKE-UP AIR UNIT. SEE MECHANICAL DRAWINGS FOR REQUIREMENTS.
- 8. ENTRY CANOPY AT MAIN ENTRY.
- 9. CONDENSING UNITS FOR VRF SYSTEM AND POOL DEHUMIDIFIER UNIT. SEE MECHANICAL DRAWINGS FOR REQUIREMENTS.

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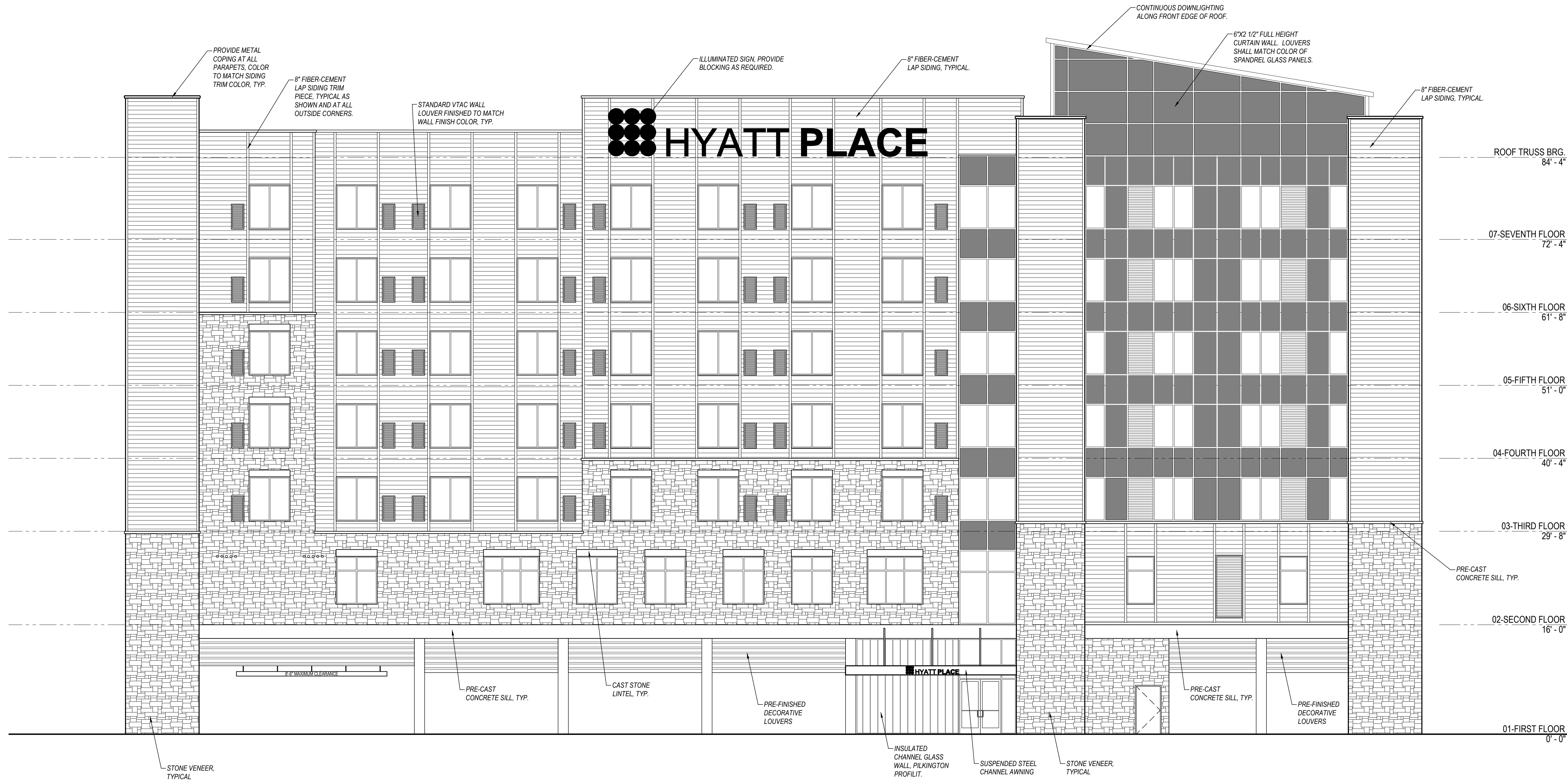
SHEET TITLE:
 ROOF PLAN

A1.4
 SHEET: OF

HYATT PLACE
 (PRELIMINARY DRAWINGS)
 225 E. KIOWA ST.
 COLORADO SPRINGS, CO 80903



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NORTH ELEVATION
 SCALE: 1/8"=1'-0"

HYATT PLACE
 (PRELIMINARY DRAWINGS)
 225 E. KIOWA ST.
 COLORADO SPRINGS, CO 80903

GENERAL NOTES:

- A. SEE AS# SERIES SHEETS FOR WINDOW AND DOOR TYPES. DOORS, WINDOWS AND LOUVERS TO BE PREFINISHED. ALL WINDOWS TO BE BRONZE ALUMINUM WITH THERMALLY BROKEN FRAMES.
- B. PROVIDE BLOCKING AND POWER FOR ALL EXTERIOR SIGNAGE. ALL SIGNAGE SHALL BE AS PER HOTEL STANDARDS (SIZE, COLOR, ETC.). COORDINATE INSTALLATION OF EXTERIOR SIGNAGE PRIOR TO CLOSING UP THE WALLS.
- C. MOISTURE RESISTANT BARRIER (MRB) SHALL BE STO STOGUARD, OR EQUAL, TYPICAL THROUGHOUT. INSTALL AS PER MANUFACTURERS REQUIREMENTS BASED ON THE FINISHES TO BE USED.
- D. INSTALL STONE AS PER MANUFACTURERS RECOMMENDATIONS. PROVIDE A 30# FELT SLIP BARRIER BETWEEN STONE BASE COAT AND AIRMOISTURE BARRIER.

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PROJECT MANAGER:
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SHEET TITLE:
 NORTH
 ELEVATION

A2.1
 SHEET: OF

HYATT PLACE
 (PRELIMINARY DRAWINGS)
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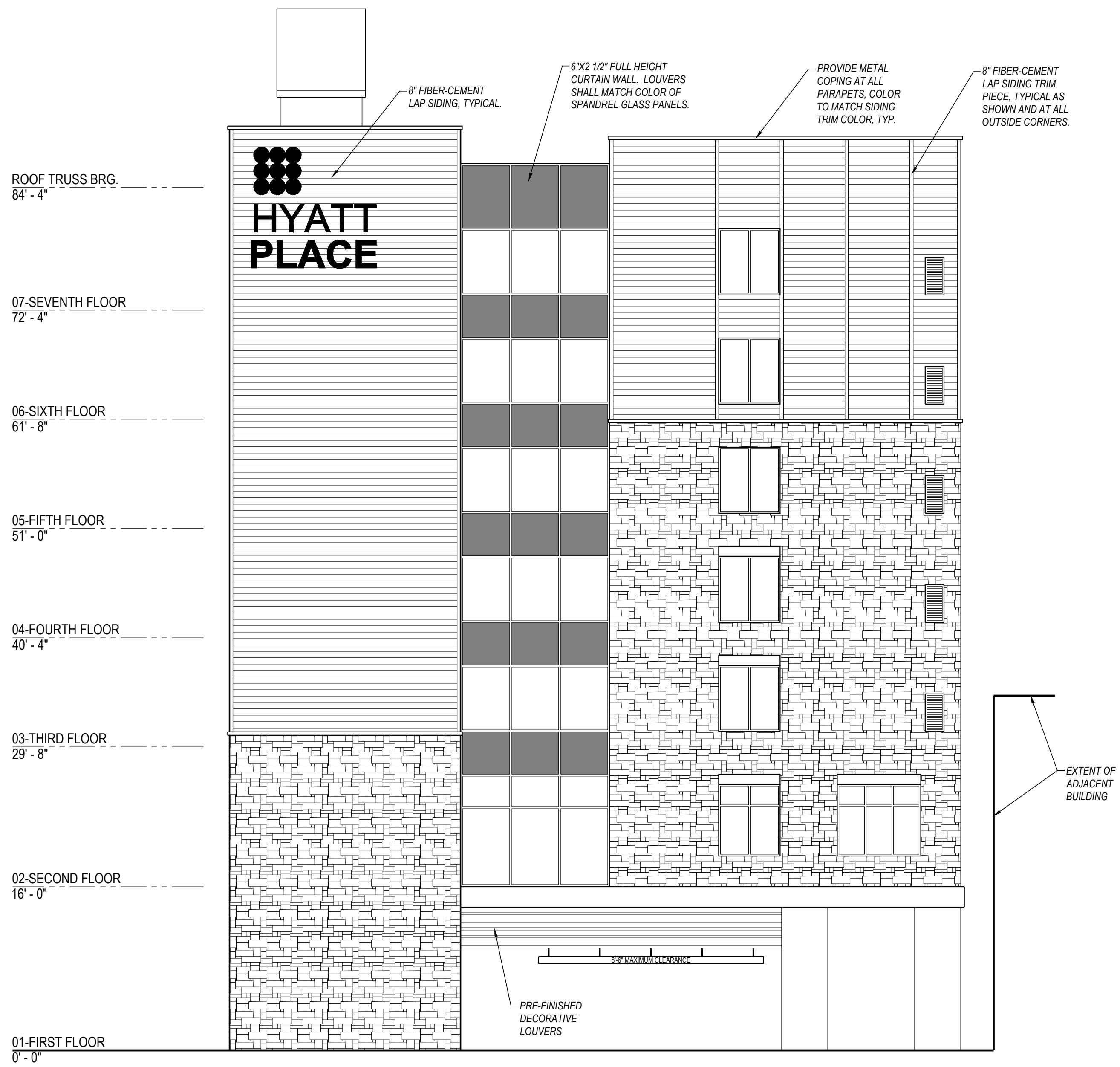
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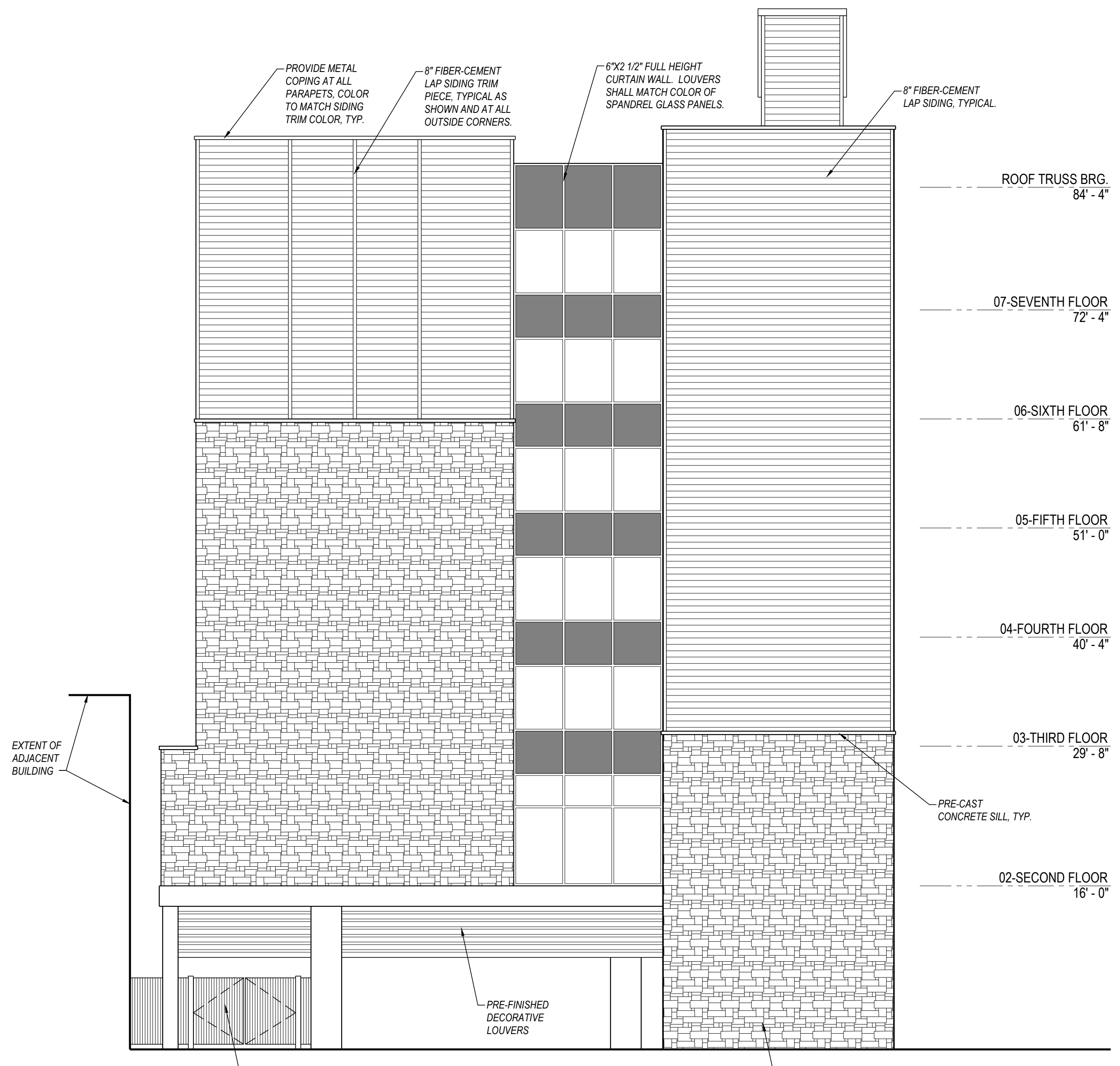
PROJECT MANAGER:
 NICK PIRKL

DRAWN BY:
 NAP

SHEET TITLE:
 WEST AND EAST ELEVATIONS



WEST ELEVATION
 SCALE: 1/8"=1'-0"



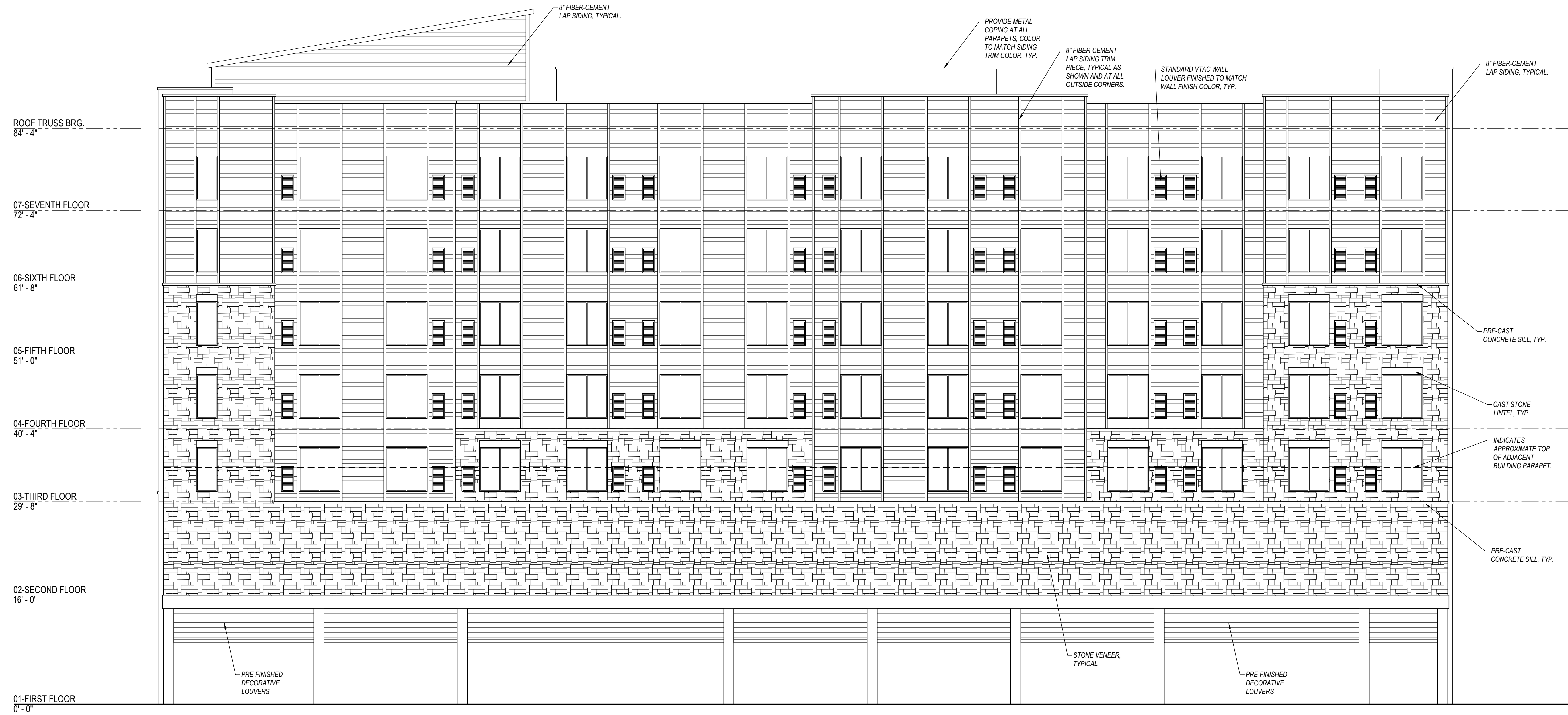
EAST ELEVATION
 SCALE: 1/8"=1'-0"

GENERAL NOTES:

- A. SEE A5# SERIES SHEETS FOR WINDOW AND DOOR TYPES. DOORS, WINDOWS AND LOUVERS TO BE PREFINISHED. ALL WINDOWS TO BE BRONZE ALUMINUM WITH THERMALLY BROKEN FRAMES.
- B. PROVIDE BLOCKING AND POWER FOR ALL EXTERIOR SIGNAGE. ALL SIGNAGE SHALL BE AS PER HOTEL STANDARDS (SIZE, COLOR, ETC.). COORDINATE INSTALLATION OF EXTERIOR SIGNAGE PRIOR TO CLOSING UP THE WALLS.
- C. MOISTURE RESISTANT BARRIER (MRB) SHALL BE STO STOGUARD, OR EQUAL, TYPICAL THROUGHOUT. INSTALL AS PER MANUFACTURERS REQUIREMENTS BASED ON THE FINISHES TO BE USED.
- D. INSTALL STONE AS PER MANUFACTURERS RECOMMENDATIONS. PROVIDE A 30# FELT SLIP BARRIER BETWEEN STONE BASE COAT AND AIRMOISTURE BARRIER.



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SOUTH ELEVATION
 SCALE: 1/8"=1'-0"

GENERAL NOTES:

- A. SEE AS# SERIES SHEETS FOR WINDOW AND DOOR TYPES. DOORS, WINDOWS AND LOUVERS TO BE PREFINISHED. ALL WINDOWS TO BE BRONZE ALUMINUM WITH THERMALLY BROKEN FRAMES.
- B. PROVIDE BLOCKING AND POWER FOR ALL EXTERIOR SIGNAGE. ALL SIGNAGE SHALL BE AS PER HOTEL STANDARDS (SIZE, COLOR, ETC.). COORDINATE INSTALLATION OF EXTERIOR SIGNAGE PRIOR TO CLOSING UP THE WALLS.
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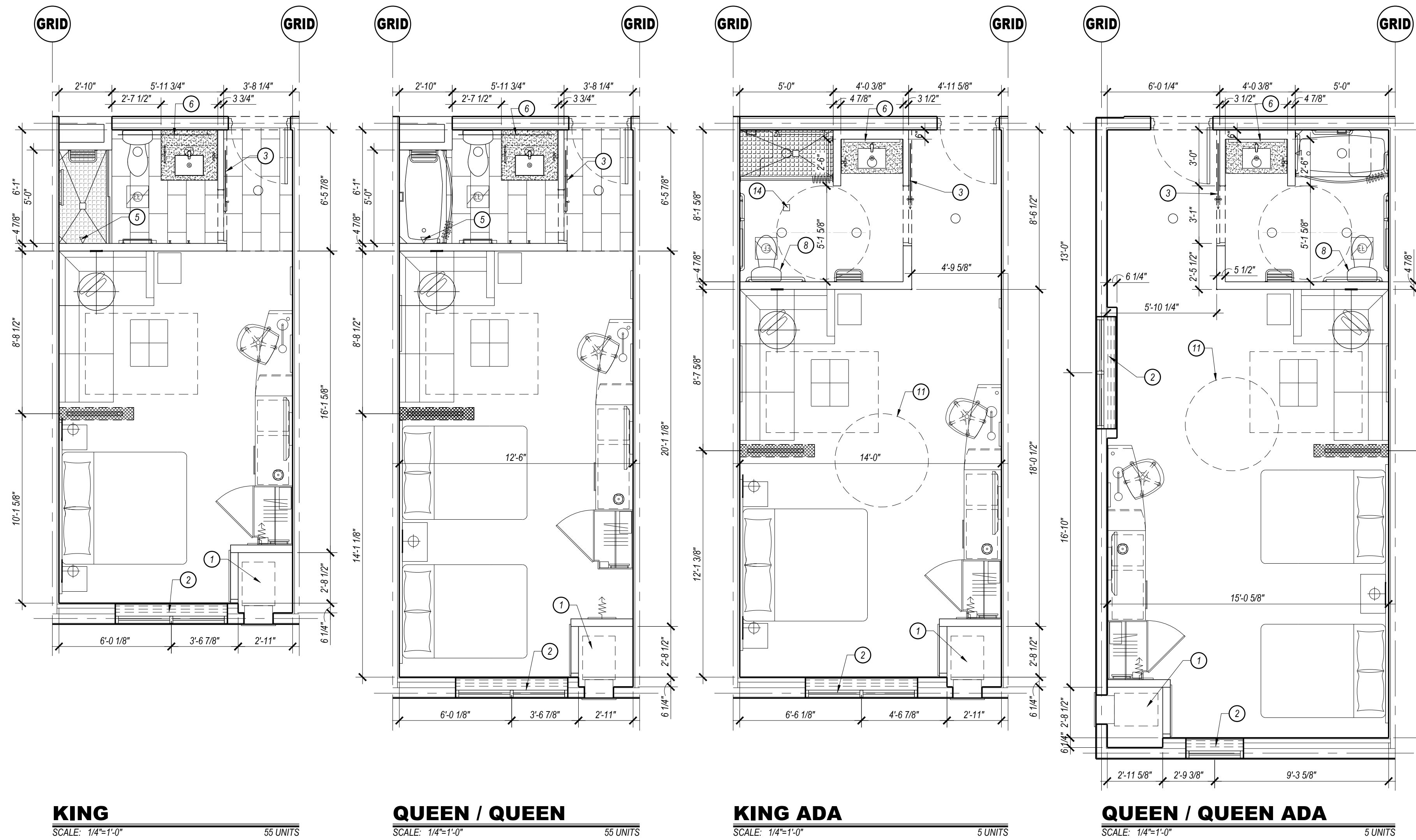
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 8/7/17 - Preliminary Drawings

PROJECT MANAGER:
 NICK PIRKL

DRAWN BY:
 NAP

SHEET TITLE:
 SOUTH ELEVATION



KING
SCALE: 1/4"=1'-0" 55 UNITS

QUEEN / QUEEN
SCALE: 1/4"=1'-0" 55 UNITS

KING ADA
SCALE: 1/4"=1'-0" 5 UNITS

QUEEN / QUEEN ADA
SCALE: 1/4"=1'-0" 5 UNITS

KEYED NOTES

1. HARDWIRED VERTICAL TERMINAL AIR CONDITIONER (VTAC) UNIT
2. EXTERIOR WINDOW AND ASSOCIATED TREATMENTS
3. BARN DOOR ON EXPOSED HARDWARE - REFER TO DOOR SCHEDULE FOR MORE INFORMATION
4. COMMUNICATING DOOR LOCATION WHEN USED
5. SHOWER HEAD, MINIMUM 6'-6" ABOVE FINISH TUB/SHOWER FLOOR (6'-10" A.F.F. ROUGH-IN)
6. WALL MOUNTED VANITY LIGHT/MIRROR - PROVIDE JUNCTION BOX, COORDINATED WITH FIXTURE
7. STARTING POINT OF TILE - BEGIN WITH FULL TILE
8. FLUSH LEVER MUST BE POSITIONED ON OPEN SIDE OF WATER CLOSET AS SHOWN
9. PROVIDE DEDICATED ELECTRICAL CIRCUIT FOR EACH UNDERCOUNTER APPLIANCE
10. DOORBELL ON/OFF SWITCH FOR COMMUNICATION FEATURE ROOMS ONLY - SIGNAGE AS REQUIRED
11. DASHED BOXES AND CIRCLES REPRESENT ACCESSIBLE CLEAR FLOOR AREAS - REFER TO ACCESSIBLE PLANS SHEET FOR ADDITIONAL INFORMATION
12. ACCESSIBLE DRAPERY CONTROL
13. DESK MUST PROVIDE MIN. 30" WIDE CLEAR FLOOR SPACE AND A MIN. 27" HIGH KNEE CLEARANCE
14. PROVIDE DRAIN IN THIS LOCATION IN GUEST BATHS EQUIPPED WITH ROLL-IN SHOWERS. DISH DRAIN AT A 6" RADIUS (1:48 SLOPE MAX). PROVIDE TRAP PRIMER.

GENERAL NOTES

- A. ALL GYPSUM BOARD IN TOILET ROOMS TO BE MOISTURE RESISTANT.
- B. FLOOR PLANS MAY BE MIRRORED.
- C. SEE OVERALL FLOOR PLANS FOR LOCATION OF PHYSICALLY ACCESSIBLE AND VISUALLY ACCESSIBLE ROOMS.
- D. DIMENSIONS ARE TO FINISHED WALL SURFACES, U.N.O.
- E. SEE AS# SERIES SHEETS FOR INTERIOR ELEVATIONS.
- F. HEIGHT OF ALL SWITCHES, OUTLETS, ETC., TO MEET A.D.A. REQUIREMENTS AND/OR LOCAL CODES. SWITCHES ON LAMPS MUST BE TOGGLE TYPE.
- G. ELECTRICAL OUTLETS AT DESKS ARE TO BE COORDINATED WITH FRANCHISE STANDARDS. DEPENDING ON FF&E PROVIDED, CERTAIN OUTLETS MAY NOT BE REQUIRED.
- H. AT WALLS BETWEEN ADJACENT ROOMS, ELECTRICAL OUTLET LOCATIONS, INCLUDING TV AND TELEPHONE OUTLETS, SHALL BE OFFSET 6" MINIMUM HORIZONTALLY FOR INSTALLATION. ELECTRICAL CORDS SHOULD BE HIDDEN FROM VIEW. BACK TO BACK OUTLETS ARE NOT ALLOWED. SEE DETAIL THIS SHEET.
- I. LIGHT SWITCH AND G.F.I. OUTLETS CAN BE MOUNTED IN A COMMON 4x4 BOX WITH COVER PLATE.
- J. CEILING MOUNTED LIGHT FIXTURE AND EXHAUST FAN AT ALL GUEST ROOM BATHS TO BE SWITCHED SEPARATELY (IF APPLICABLE).
- K. ROOMS WITH COMMUNICATION FEATURES (HEARING IMPAIRED) SHALL BE EQUIPPED WITH VISIBLE FIRE ALARMS AND NOTIFICATION DEVICES FOR DOOR BELL AND TELEPHONE.
- L. PROVIDE INSULATED FLOOR DRAINS PER LOCAL CODE IN GUEST ROOM RESTROOMS WHERE ACCESSIBLE SHOWERS ARE TO BE INSTALLED.
- M. ACCESSIBLE CLEARANCES SHALL MEET THE REQUIREMENTS OF THE 2003 ANSI AND THE 2010 ADAAG.
- N. ALL CONTROLS FOR USE BY HANDICAP GUESTS MUST BE MOUNTED BETWEEN 15" AND 48" AND MUST HAVE A 30"x48" MINIMUM CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH. CONTROLS MOUNTED OVER AN OBSTRUCTION THAT IS BETWEEN 10" AND 24" DEEP MAY BE NO HIGHER THAN 48" AFF IF PARALLEL APPROACH IS PROVIDED, WHERE OBSTRUCTIONS ARE BETWEEN 20" AND 25" WITH FORWARD APPROACH THE MAXIMUM HEIGHT IS 44" AFF. ACCESSIBLE CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- O. WALL MOUNTED EQUIPMENT, FIXTURES, ETC. BETWEEN 27" AND 80" A.F.F. SHALL NOT PROTRUDE MORE THAN 4" FROM WALL PER ACCESSIBILITY REQUIREMENTS.
- P. IN ACCESSIBLE ROOMS, PROVIDE AN ELECTRICAL OUTLET WITHIN 48" OF THE TELEPHONE CONNECTION. THE OUTLET MUST HAVE A CLEAR FLOOR SPACE AND MEET ACCESSIBILITY REQUIREMENTS FOR REACH.
- Q. IN ACCESSIBLE ROOMS AT LEAST ONE OUTLET AND DATA CONNECTION FOR USE BY GUESTS MUST BE MOUNTED BETWEEN 15" AND 48" A.F.F. AND PROVIDE A CLEAR FLOOR SPACE IN COMPLIANCE WITH ACCESSIBLE REQUIREMENTS.
- R. FLUSH LEVER MUST BE POSITIONED ON OPEN SIDE OF WATER CLOSET IN ACCESSIBLE TOILET ROOMS.
- S. SHOWER HEADS SHALL BE A MINIMUM OF 6'-0" ABOVE FINISH TUB/SHOWER FLOOR TO BOTTOM OF HEAD.



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DRAWING ISSUE DATES:
8/7/17 - Preliminary Drawings

PROJECT MANAGER:
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NAP

SHEET TITLE:
ENLARGED GUEST ROOM PLANS

A3.1
SHEET: OF